



23 President House, Dukes Court,
York, North Yorkshire YO26 5SZ

Guide Price £179,950


BISHOPS
PERSONAL AGENTS

Looking for a stylish ground floor apartment on the outskirts of York? Then look no further than Dukes Court! Bishops Personal Agents offer For Sale this superb two bedroom apartment, forming part of this modern development, on the fringes of this very popular location of Acomb off Boroughbridge Road, with easy access to the city centre, outer ring road, and also lying convenient for the Clifton Moor and Acomb shopping centres. Has accommodation briefly comprising; Communal entrance hall, private entrance hall with both an airing and storage cupboards, spacious living room, offering a very flexible living space, opening to the fitted kitchen with a range of matching units and some integral appliances, a bathroom with a white three piece suit and two bedrooms, the principal with built in wardrobes complete this apartment. This property also benefits from double glazing, intercom system, allocated and visitors parking. Plus a handy cycle store. Offering the best in city suburban living, also perfectly situated within easy access of the Railway station, popular local schools, including the catchment of Manor C of E and local shops, this property will appeal to both first time buyers and buy to let investors. An early viewing is highly recommended, not to miss out!

The Sovereign Park development is a well-planned residential area, nestled around a central square. The streets have been laid out in a way that limits through-traffic and therefore creates a lovely address in which a variety of households live. The park provides good amenity space, whilst walks along the River Ouse can be reached within 5 minutes. In addition, within easy access of the well-regarded schools of Poppleton Road Primary, Carr Lane Primary and The Manor C of E Secondary School. For the commuter, there are regular transport links to and from the city centre, which is within easy walking distance if you wish to take an easy stroll and there is also good access to the A64 and the surrounding towns and cities, including Leeds in approximately 30 minutes and Harrogate as well as the national motorway networks. The historic city of York is a hive of activity with an abundance of shopping facilities, restaurants, York racecourse and 2 theatres. York's mainline railway station is within walking distance and offers regular services to major cities including Manchester, Edinburgh and London with some journeys taking less than 2 hours to Kings Cross.



Entrance Hall

Entrance hall, airing cupboard with the boiler* and a storage cupboard. Doors leading to...

Living Room

15' 1" x 12' 11" (4.59m x 3.93m)

Double glazed windows to front aspect, tv point*, telephone point* and wall heaters*. Door leading to...

Kitchen

14' 3" x 6' 3" (4.34m x 1.90m)

Fitted with a range of wall and floor units with matching work surfaces over, steel sink with mixer tap, electric cooker*, 4 x electric hob*, space for a washing machine/dryer*, space for a fridge and double glazed window to side aspect.

Bedroom 1

12' 3" x 8' 7" (3.73m x 2.61m)

Double glazed windows to front aspect, built in cupboards and wall heater*.

Bedroom 2

10' 2" x 6' 9" (3.10m x 2.06m)

Double glazed windows to front aspect and electric wall heater*.

Bathroom

7' 2" x 5' 6" (2.18m x 1.68m)

Modern white suite comprising panelled bath a mains shower*, pedestal wash hand basin and low level wc, set in a vanity unit, extractor fan* and heated towel rail*.

Outside

To the rear of the apartments is a brick cycle/bin store, allocated and visitors parking.

Agents Note

EPC rating D, Council tax band C

Broadband supplier: Plusnet

Broadband speed: Faster Fibre (67mbps)

Water supplier: Yorkshire Water.

Gas supplier: No gas.

Electricity supplier: OVO

Tenure

We have been informed by the vendor that the property is leasehold with a 155 year lease which commenced in 2004. Management Company: Trinity Management Estates. Current service charge is £2,856.69 (Period of 01/10/2023 - 30/09/2024) and Ground Rent - Rendall and Rittner - £150 (Period of 01/01/2023 - 31/12/2024), which includes building insurance and maintenance of communal areas. This apartment can be let, but not as a holiday let. Details which should be checked at the time of purchase by a solicitor.





Energy performance certificate (EPC)

23 Presidents House
Dukes Court
YORK
YO26 5SZ

Energy rating

DValid until: **29 July 2029**Certificate number: **8109-6505-4329-2976-7313**

Property type

Ground-floor flat

Total floor area

58 square metres

Rules on letting this property

Properties can be let if they have an energy rating from A to E.

You can read [guidance for landlords on the regulations and exemptions \(https://www.gov.uk/guidance/domestic-private-rented-property-minimum-energy-efficiency-standard-landlord-guidance\)](https://www.gov.uk/guidance/domestic-private-rented-property-minimum-energy-efficiency-standard-landlord-guidance).



Bishops Personal Agents

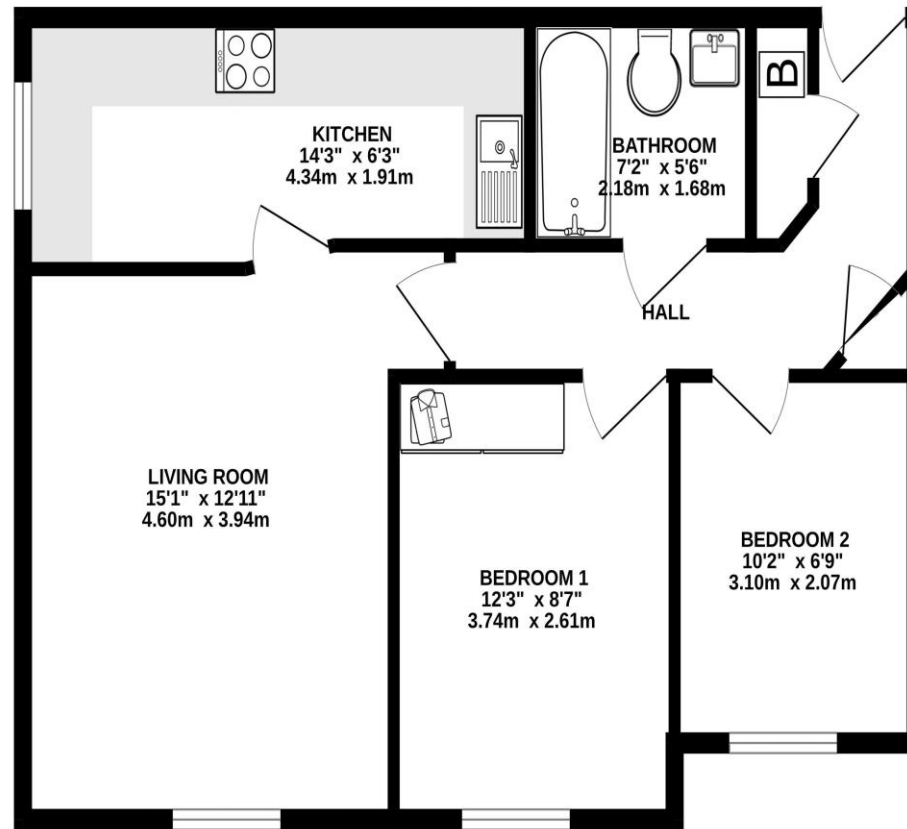
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GROUND FLOOR



Whilst every attempt has been made to ensure the accuracy of the floorplan contained here, measurements of doors, windows, rooms and any other items are approximate and no responsibility is taken for any error, omission or mis-statement. This plan is for illustrative purposes only and should be used as such by any prospective purchaser. The services, systems and appliances shown have not been tested and no guarantee as to their operability or efficiency can be given.
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DISCLAIMER

These particulars are intended to give a fair and reliable description of the property but no responsibility for any inaccuracy or error can be accepted and do not constitute an offer or contract. We have not tested any services or appliances* (including central heating if fitted) referred to in these particulars and the purchasers are advised to satisfy themselves as to the working order and condition. If a property is unoccupied at any time there may be reconnection charges for any switched off/disconnected or drained services or appliances – All measurements are approximate. Bishops Personal Agents recommends certain products and services to buyers including conveyancing and mortgage advices. We may receive commission for such recommendations. To confirm what the referral fee amounts would be, please ask your Personal Agent direct. Please note that you are under no obligation to use any of these services or the recommended providers.